



Staff Report

PLANNING DIVISION
COMMUNITY & ECONOMIC DEVELOPMENT

To: Salt Lake City Planning Commission

From: Maryann Pickering, Principal Planner
(801) 535-7660

Date: February 11, 2015

Re: 9+9 Mixed Use Conditional Building and Site Design Review (PLNPCM2014-00890)

CONDITIONAL BUILDING AND SITE DESIGN REVIEW

PROPERTY ADDRESS: 932 E. 900 South

PARCEL IDS: 16-08-182-016 and 16-08-182-017

MASTER PLAN: Community Commercial – Central Community Master Plan

ZONING DISTRICT: CB (Community Business)

REQUEST: Approval of a mixed use development that exceeds more than 15,000 square feet for the first floor or 20,000 square feet overall at the above listed address. Currently, the land is developed with a retail store and surface parking lot and is zoned CB (Community Business). This type of project must be reviewed as a Conditional Building and Site Design Review by the Planning Commission.

RECOMMENDATION: Based on the information in this staff report, planning staff recommends that the Planning Commission approve the requested 9+9 Mixed Use Conditional Building and Site Design Review PLNPCM2014-00890 to allow a development with a first floor square footage in excess of 15,000 square feet and an overall maximum square footage of 20,000 square feet.

ATTACHMENTS:

- A. Vicinity Map
- B. Zoning Map
- C. Development Plan Set
- D. Additional Applicant Information
- E. Existing Conditions
- F. Analysis of Standards
- G. Public Process and Comments
- H. Department Comments
- I. Motions

PROJECT DESCRIPTION:

The proposal seeks to increase the maximum first floor area of 15,000 square feet or 20,000 square feet overall for the building. The mixed use development would be three stories in height. The first floor would contain approximately 5,000 square feet of retail space and the remainder of the building would be comprised of 28 residential condominium units. Buildings that exceed either 15,000 square feet for the first floor or 20,000 square feet overall may be approved if they comply with the standards for Conditional Building and Site Design Review.

The building would take up virtually all of the land area on the property. Parking is proposed to be located underneath the building, but will not be in an underground parking structure. It will be located along the first floor area of the building in the back or rear of the 5,000 square feet of retail area. All vehicular access to the site will be from Lincoln Avenue and there are no plans to provide vehicular access from 900 South. A total of 25 parking spaces are provided and that does exceed the requirement found in the Zoning Ordinance. The building is designed to be 30 feet in height.

KEY ISSUES:

The key issues listed below have been identified through the analysis of the project, neighbor input and department review comments.

Issue 1: Building Height

As noted in the project description, the building is designed to be 30 feet in height. However, it will have a parapet wall at the top to screen mechanical equipment that is approximately four feet tall. The Zoning Ordinance does allow a parapet wall for this purpose up to five feet in height. And, an elevator or stairwell bulkhead is provided that extends approximately 16 feet up from the roof deck height of 30 feet. This is also permitted per the Zoning Ordinance. Therefore, the building does comply with all height requirements of the Zoning Ordinance, but may appear taller than 30 feet.

Issue 2: Parking Spaces

The proposed project will include a total of 25 parking spaces. These parking spaces will be located at the first floor level and they will all be accessed from Lincoln Avenue. Based on various reductions allowed through the Zoning Ordinance, the project is required to provide a minimum of 14 parking spaces. The reductions allowed are described in Section 21A.44.040.B.8 of the Zoning Ordinance. The applicant has demonstrated on the site plan that bike racks are located within 100 feet of an entrance to the business and therefore is allowed to exempt a total of 2,500 square feet of the retail building area from the parking requirements. Concerns have been raised by residents in the area that there is little to no on-street parking available today and most of those spaces are utilized by the existing residents. The concern is that this development will increase the demand for parking in the area and there will be less available for those who live and work there already.

Issue 3: Rear Yard Setback

A concern has been raised by a neighbor in the area about the rear yard setback. The building itself is located approximately 20 feet from the rear property line and a seven foot landscaped setback has also been provided. Both of these items are in compliance with the standards of the Zoning Ordinance. Staff will agree that the manner in which the site plan was drawn does make it seem like the building is closer than the minimum setback as a four foot tall retaining wall and required light proof fence are shown on the site plan. A total of five new trees will also be installed in the landscaped area along the rear property line to help screen the building and parking area from the residential property located directly to the south.

Issue 4: Vehicular Access

Staff has noted that the proposed required parking area is accessible by one driveway or access point. While there is no requirement for more than one access point, it should be noted that having all vehicles entering and exiting the parking area through this one point will most likely increase the amount of vehicular traffic along Lincoln Street, since the current layout or configuration of the site has two access points. Currently there is one driveway along Lincoln Street and the other is along 900 South. The proposed parking area of 25 parking spaces is less than the approximate 35 parking spaces that currently exist on the site; however, all vehicular traffic will now be directed to one driveway. It should be noted that the City's Transportation Division has reviewed the project and did not have any objections to the proposed access or require a traffic study. The Central Community Master Plan includes a policy TRANS-2.1 states "minimize, through design review, that street design, pedestrian connections, building/parking areas, and land use designations do not create circulation conflicts between vehicles and pedestrians." Locating the vehicular access on Lincoln Street eliminates the existing drive approaches on 900 South, which are conflict points between pedestrians and vehicles entering the property. 900 South carries more pedestrian traffic due to the nature of the street, and should be viewed as the primary pedestrian street, where conflicts should be reduced.

DISCUSSION:

In general, the proposal is well thought out and satisfies all of the Zoning Ordinance and design standards for approval. The building is designed with a ground level that is pedestrian focused along the two adjacent streets and is visually interesting with columns, expansive glass, and various building materials. Proposed vehicle access will utilize the existing driveway along Lincoln Street and as discussed above, it will be the only vehicular access for the parking area provided. The parking area is well designed and by its location behind the building and installation of the light proof fence along the southern property line, it will be difficult to see the parking area from the adjacent properties. There have been no concerns expressed to staff regarding the square footage of the building and the larger square footage can be approved if the project satisfies all the requirements of Conditional Building and Site Design review. Not only does the proposal satisfy all of the general design standards and requirements of the Conditional Building and Site Design review process, it also meets all but one Zoning Ordinance requirements. Therefore, staff would recommend approval of this project.

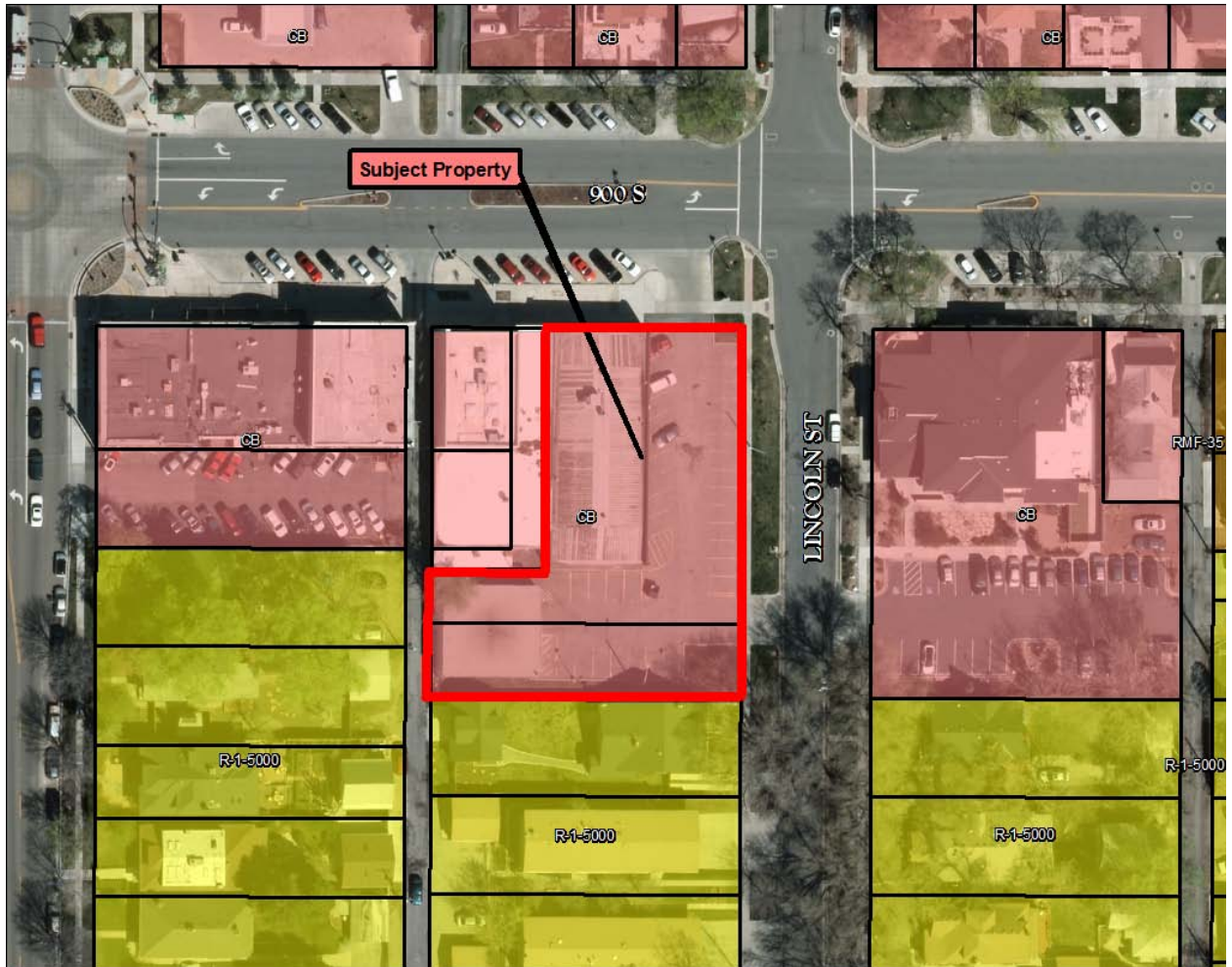
NEXT STEPS:

If approved, the applicant may proceed with the project and will be required to obtain all necessary permits. If denied the applicant would still be able to construct a building but it would need to be less than 20,000 square feet in size and would need to comply with all applicable Zoning Ordinance standards.

ATTACHMENT A: VICINITY MAP



ATTACHMENT B: ZONING MAP



ATTACHMENT C: DEVELOPMENT PLAN SET

9+9 MIXED USE DEVELOPMENT



SITE EVALUATION for 9+9 Mixed Use Development

Zoning

Lot Area:	22,302 sq. ft. .51 acres
Lot Dimensions:	99.05' x 187.02'
Building Footprint:	15,550 sq. ft.
Parking Area:	9,934 sq. ft.
Existing Zoning:	CB/Community Business District
Zoning Requirements:	Any building have a fifteen thousand (15,000) gross square foot floor area of the first floor or a total floor area of twenty thousand (20,000) gross square feet or more, shall be allowed only through the conditional building and site design review process.
Setbacks:	Front or Corner Side Yard: No minimum yard is required. Interior Side Yard: None required. Rear Yard: Ten feet (10').
Maximum Height:	Thirty feet (30').
First Floor Non-Reflective Glass:	40%. Required. 48% Provided
Maximum Length of Blank Wall:	15'-0". Required . 14'-6" Proposed
CN/CB ZONING:	PEDESTRIAN FRIENDLY DEVELOPMENT. 21-A 44.030.8. -a,b,c,d,e.. exemptions.

General Parking Requirements As per table 21A.44.030

Retail Requirements:	2 stalls/1,000 sq. ft.
Studio (500 Sq. Ft.):	1/2 stall
1 Bedroom Unit Requirements:	1 stall/unit
2 Bedroom Unit Requirements:	2 stalls/unit
ADA:	1/25 stalls
Landscape Buffer:	Seven feet (7')W/ Light proof fence.
Interior Landscape:	N/A

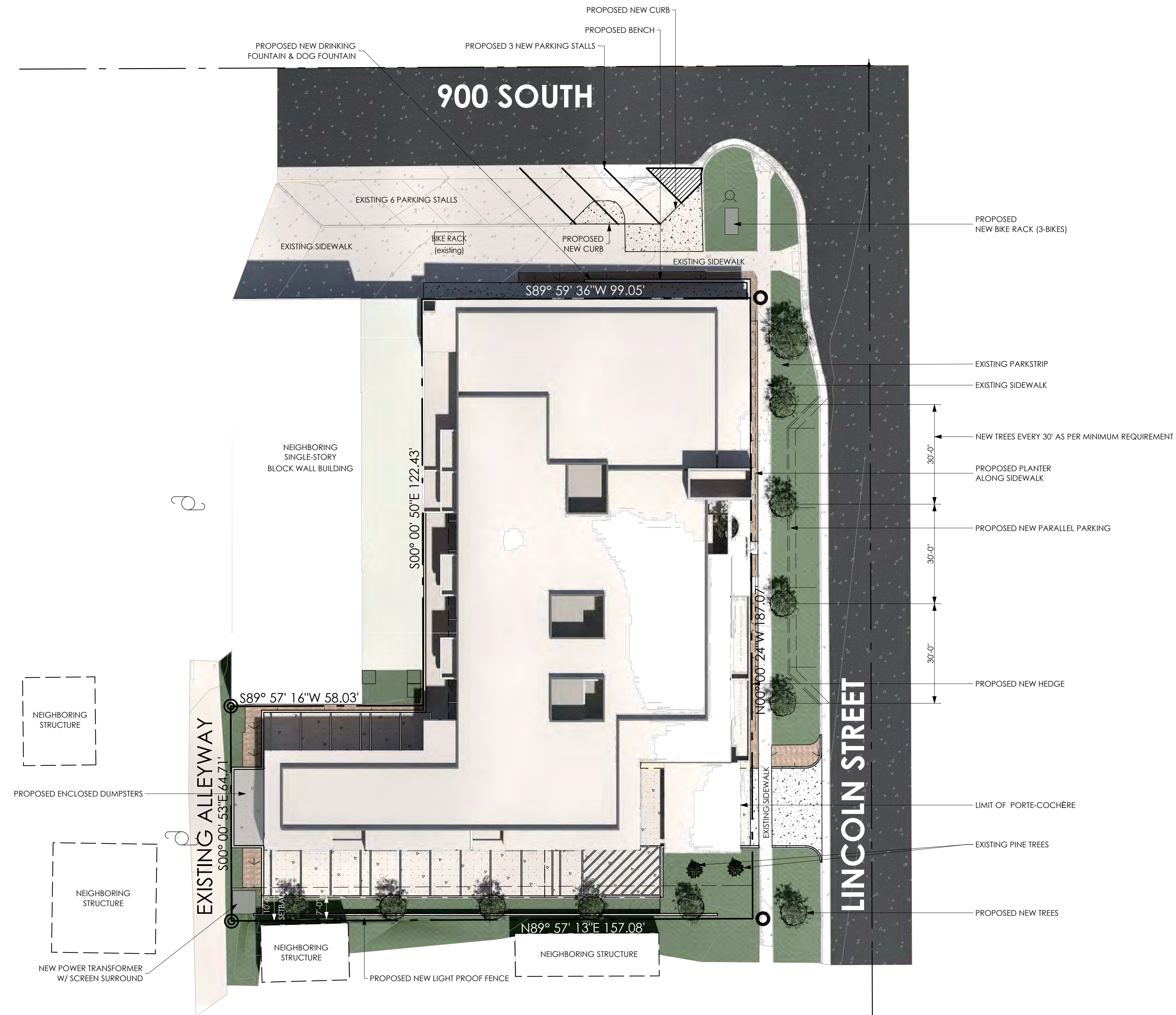
CN/CB ZONING:

Parking lot lighting: Light poles limited to 16'-0" in height /globe must be shield

BUILDING	AS PER TABLE 21A.44.030	PEDESTRIAN FRIENDLY EXCEPTION*	PROVIDED
Retail-1 Unit: 5,000 sq. ft.	10 Stalls	0 Stalls	1 Stalls
Studio - 2 Units: 1,000 sq. ft.	1 Stall	.5 Stalls .5/unit	2 Stalls
1 Bedroom-10 Units: 10,860 sq. ft.	10 Stalls	5 Stalls.5/unit	5.0 Stalls
2 Bedroom-16 Units: 11,768 sq. ft.	32 Stalls	8 Stalls.5/unit	16.0 Stalls
ADA Stalls (1/25):	(2 Stalls)	1 Stall	1 Stall
Total # of Parking Stalls	53 Stalls	14.5 Stalls	24+1 ADA Stall

MAXIMUM # OF STALLS: 125% OF MINIMUM **22.65 Stalls**
MINIMUM # OF STALLS: **14.5 Stalls**

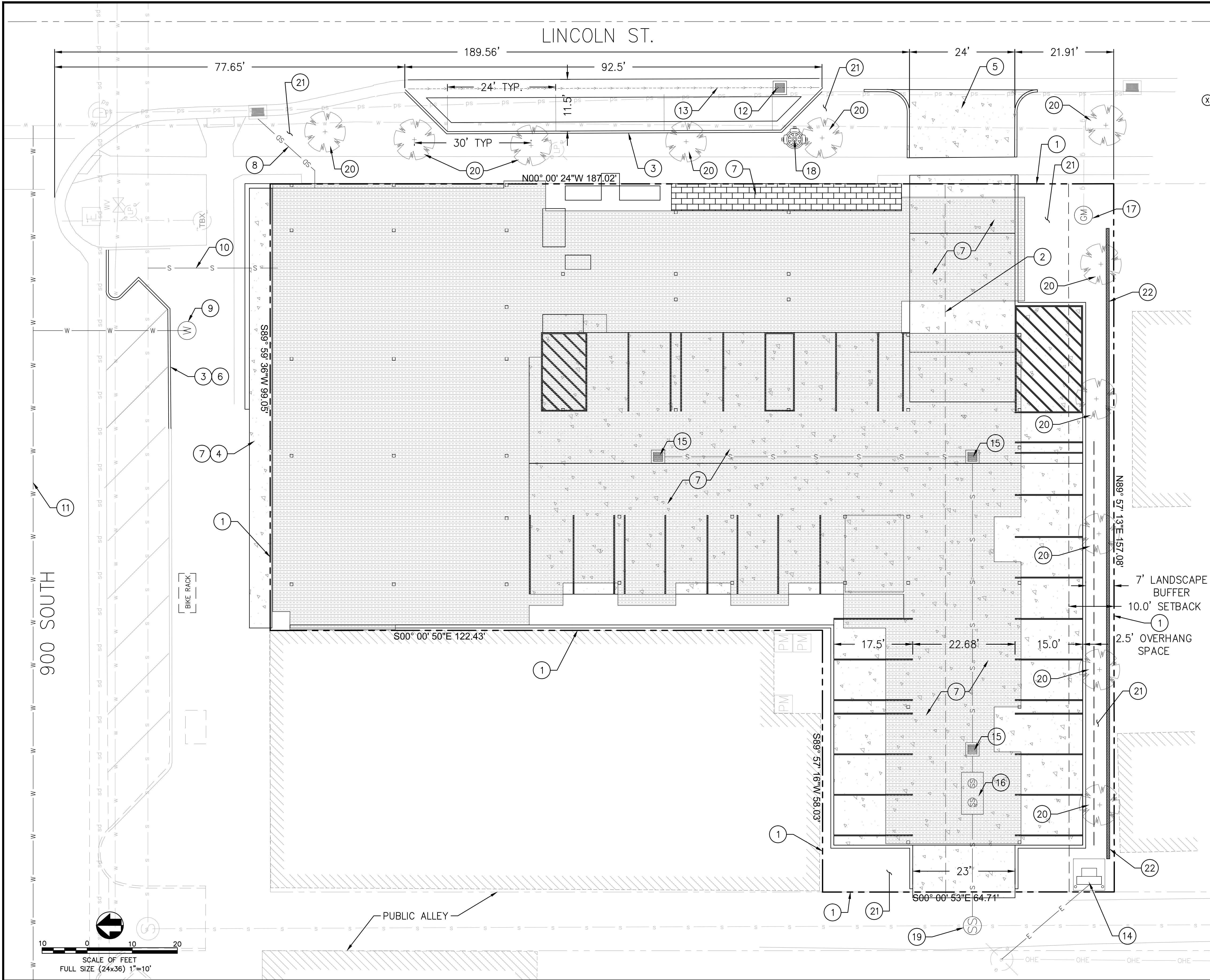
*See sheet A4-ZONING ORDINANCE: CB/COMMUNITY BUSINESS DISTRICT & PARKING REQUIREMENT REDUCTIONS. 21A.44.030 5.7



Site Plan
SCALE: 1" = 20'



North



NOTE:
ALL EXISTING SIDEWALK, CURB AND GUTTER, UTILITIES, BUILDINGS, AND OTHER FEATURES OUTSIDE OF THE PROPERTY LINES SHALL BE PROTECTED UNLESS OTHERWISE NOTED

SITE PLAN KEYED NOTES

- (X) 1. EXISTING PROPERTY LINE
- 2. EXISTING PROPERTY LINE TO BE CONSOLIDATED
- 3. INSTALL NEW CURB AND GUTTER PER SALT LAKE CITY STANDARDS
- 4. INSTALL NEW SIDEWALK PER SALT LAKE CITY STANDARDS
- 5. IMPROVE EXISTING DRIVE ACCESS
- 6. CLOSE EXISTING DRIVE ACCESS. REPLACE WITH CURB AND GUTTER AND SIDEWALK PER SALT LAKE CITY STANDARDS
- 7. INSTALL NEW PAVING. SEE LEGEND THIS SHEET
- 8. INSTALL 4 INCH PVC ROOF DRAIN
- 9. INSTALL NEW 4 INCH WATER METER
- 10. INSTALL NEW 6 INCH PVC SEWER LATERAL
- 11. NEW 12 INCH WATER LINE PER SEPARATE DESIGN PACKAGE
- 12. REPLACE EXISTING STORM DRAIN CATCH BASIN LID WITH H-20 TRAFFIC RATED GRATE
- 13. INSTALL NEW 4 FOOT CONCRETE WATERWAY
- 14. PROPOSED TRANSFORMER LOCATION
- 15. INSTALL NEW STORM DRAIN CATCH BASINS
- 16. INSTALL NEW SAND OIL SEPARATOR
- 17. REUSE EXISTING GAS LINE.
- 18. RELOCATE EXISTING FIRE HYDRANT
- 19. CONNECT EXISTING LOT STORM DRAIN SYSTEM TO EXISTING SANITARY SEWER WITH NE 4 FT MANHOLE
- 20. INSTALL NEW TREE
- 21. LANDSCAPED AREA
- 22. CONCRETE RETAINING WALL. 4' MAXIMUM HEIGHT

LEGEND

- PROPOSED BUILDING AREA
- STANDARD DUTY ASPHALT PAVING
- STANDARD TYPE A CURB AND GUTTER
- CONCRETE PAVING
- PATIO AREA PER ARCHITECTURAL PLANS

LEGAL DESCRIPTION

(16-08-182-017)
THE SOUTH ONE-HALF OF LOT 26 AND ALL OF LOT 27, BLOCK 3, BELMONT SUBDIVISION, IN THE CITY OF SALT LAKE, COUNTY OF SALT LAKE, STATE OF UTAH, ACCORDING TO THE PLAT THEREOF RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

(16-08-182-016)
THE EAST 99 FEET OF LOTS 22, 23 AND 24; THE NORTH 1/2 OF LOT 26 AND PART OF LOT 25, BLOCK 3, BELMONT SUBDIVISION, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 25, AND RUNNING THENCE SOUTH 25.0 FEET; THENCE WEST 157.0 FEET; THENCE NORTH 14.7 FEET; THENCE EAST 57.65 FEET; THENCE NORTH 10.3 FEET; AND THENCE EAST 99.35 FEET TO THE POINT OF BEGINNING.

THE FOLLOWING IS SHOWN FOR INFORMATION PURPOSES ONLY: 16-08-182-016 & 16-08-182-01

BASIS OF BEARING

THE BASIS OF BEARING IS NORTH 00° 01' 00" WEST 642.35' FEET AS MEASURED BETWEEN THE INTERSECTION MONUMENTS IN 900 SOUTH AND BELMONT AVENUE IN 900 EAST

ASSESSOR'S PARCEL NUMBERS

16-08-182-017 AND 16-08-182-016

LOT AREA

16,411 SQ. FT. OR 0.38 AC.(16-08-182-016) AND 5,891 SQ. FT OR 0.13 AC. (16-08-182-017)

NO.	REVISION DESCRIPTION	DATE

SUBMITTAL	DATE	BY
DRAWN BY:	ATR	
CHECKED BY:	SDR	
APPROVED BY:	SDR	
RELEASE:	DEC 2014	
PLOT DATE:	12/15/14	

NOT FOR CONSTRUCTION
THIS PLAN AND SPECIFICATIONS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE

SITE PLAN	DATE

LEGAL DESCRIPTION

PSOMAS
Enhancing the Natural and Built Environment
4179 Riverboat Road, Suite 200
Salt Lake City, UT 84123
(801) 270-5777 (801) 270-5782 fax
www.psomas.com

PROJECT NUMBER: 8WFO10100

9TH & 9TH MIXED-USE	DATE

9TH & 9TH PROPERTY, LLC
2716 OCEAN PARK BLVD
SUITE 2025
SANTA MONICA, CA 90405

932 EAST 900 SOUTH
SALT LAKE CITY, UT

SP

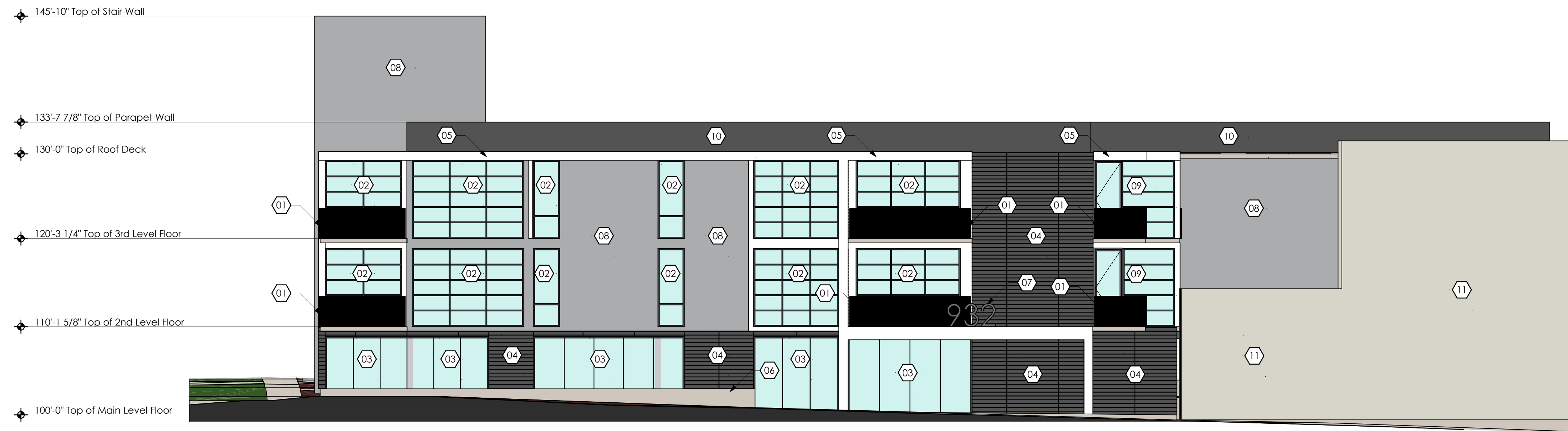
- 01. Perforated Aluminum Balcony Guard Wall
- 02. Clear Anodized Aluminum Store Front Window System
- 03. Butt Joint Storefront System w/ Non-Reflective Tempered Glass
- 04. Fiber Concrete Rain Screen
- 05. Clear Anodized Aluminum Panels
- 06. Board Formed Exposed Concrete
- 07. Aluminum Address Number
- 08. Zinc Panel w/ Conceal Fasteners
- 09. Clear Anodized Aluminum Store Front Door System
- 10. Richlite or Similar Cladding - Black in Color



East Side Elevation - Lincoln Street
 SCALE: 1/8" = 1'-0"

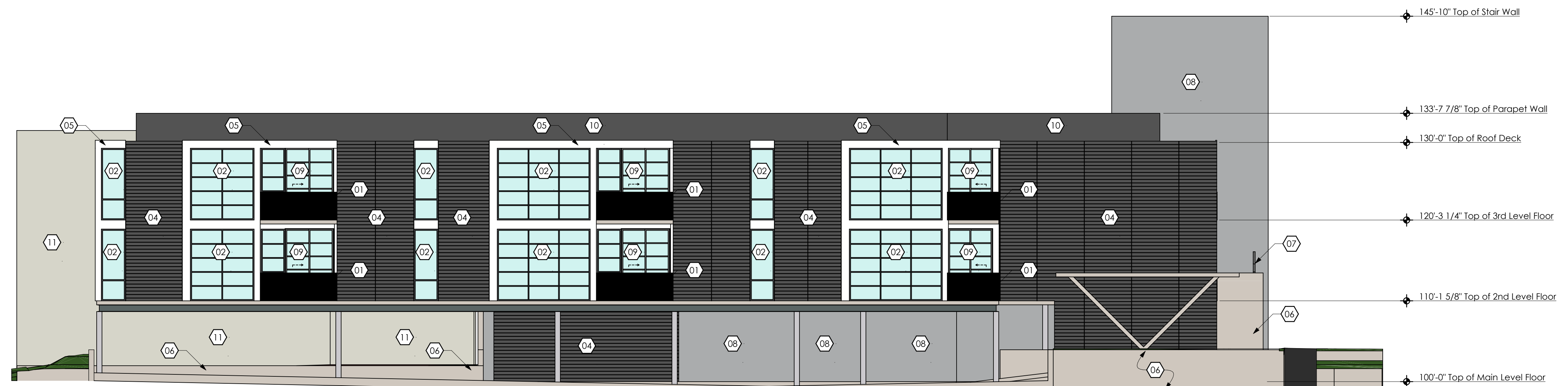
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- 04. Fiber Concrete Rain Screen
- 05. Clear Anodized Aluminum Panels
- 06. Board Formed Exposed Concrete
- 07. Aluminum Address Number
- 08. Zinc Panel w/ Conceal Fasteners
- 09. Clear Anodized Aluminum Store Front Door System
- 10. Richlite or Similar Cladding - Black in Color
- 11. Existing Structure



North Elevation - 9th South
 SCALE: 1/8" = 1'-0"

- 01. Perforated Aluminum Balcony Guard Wall
- 02. Clear Anodized Aluminum Store Front Window System
- 03. Butt Joint Storefront System w/ Non-Reflective Tempered Glass
- 04. Fiber Concrete Rain Screen
- 05. Clear Anodized Aluminum Panels
- 06. Board Formed Exposed Concrete
- 07. Aluminum Address Number
- 08. Zinc Panel w/ Conceal Fasteners
- 09. Clear Anodized Aluminum Store Front Door System
- 10. Richlite or Similar Cladding - Black in Color
- 11. Existing Structure



South Side Elevation
 SCALE: 1/8" = 1'-0"



9th & 9th Mixed Use Development

932 East & 900 South, Salt Lake City, Utah

FLORES -
SAHAGUN
ARCFLO +
a visionary design firm

SALT LAKE CITY
257 EAST 200 SOUTH, SUITE 525
84111, UTAH
T 801 350 0136
F 801 350 0136
E info@arcflo.com

© 2014 FLORES-SAHAGUN + ARCFLO
Developed By:
RH Brokerage Services, Inc.
Rinaldo Hunt - Project Developer



9th & 9th Mixed Use Development

932 East & 900 South, Salt Lake City, Utah

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ARCFLO +
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ATTACHMENT D: ADDITIONAL APPLICANT INFORMATION

Project Description

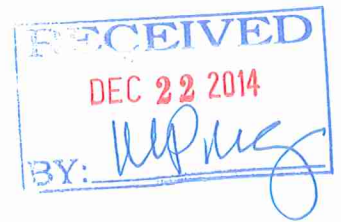
December 18th, 2014

TO:

Salt Lake City Planning Department
Attn: Planning Staff
451 South State Street
RM 406
Salt Lake City, UT 84111

FROM:

9th and 9th Property, LLC
2716 Ocean Park Blvd.
Suite 2025
Santa Monica, CA 90405



SUBJECT:

Required project description for Conditional Building & Site Design Review Application

To whom it may concern:

9th and 9th Property, LLC owns the real property located at approximately 932 East 900 South, Salt Lake City, UT 84105. For further reference, the property is located within the 9th and 9th sub-district on the corner of 900 South and Lincoln Street. The property is 22,302 square feet of Community Business (CB) zoned land that contains an aged unreinforced masonry building that is approximately 6,000 square feet and formerly known as the Mutual Beauty Supply Store.

It is the intent of the Ownership to demolish the existing structure and construct a high-end mixed-use building that is approximately 35,000 square feet containing 28 luxury apartments, a ground level commercial retail opportunity and a roofline that contains a rooftop deck and common space for the building occupants. The new structure will not exceed the 30' height maximum and will comply with all building set-back requirements.

The parking for the building will be on-site and at grade. The ownership will be applying the standards and exceptions listed in 21A.44.030 to comply with Salt Lake City's parking requirements inclusive of parking maximums as it relates to the current zoning and mix of uses within the finished building.

The primary residential entrance will be on Lincoln Street facing east and the commercial retail entrance will be on 900 South facing north. Both entrances are pedestrian friendly and give the building occupants easy access to the district's mass transit opportunities provided by the UTA. The ground level façade exceeds the Non-reflective glass requirement and is designed to emphasize pedestrian interaction and interest.

The at grade parking lot will be screened by residential units on the East side, the commercial retail on the north side, landscaping and a retaining wall on the south side and the neighboring building on the west side. No excessive glare or light is expected to project into the adjacent neighborhood. The ingress and egress for the parking shall be through an existing curb cut facing Lincoln Street on the south east side of the property. To ensure appropriate vehicular circulation in, out and around the property the Ownership is proposing an additional curb cut on the east side of the property to allow for three parallel parking stalls on Lincoln Street. The curb cut will widen the drive aisle on Lincoln Street and prevent vehicular back-up on 900 south and south on Lincoln Street as residents come and go from the development.

The garbage and recycling bins shall be located on the southwest portion of the site in a screened area. The dumpsters will be emptied by the appropriate vendors through the alley access on the west side of the property.

All building signage inclusive of the ground level commercial retail will be oriented to the street and encourage interest from the building frontages on both Lincoln and 900 South. All exterior lighting shall be compliant with the Salt Lake City lighting Master Plan dated 2006 and any subsequent amendments thereof.

All landscaping in the public right-of-way shall be chosen in conjunction with the Salt Lake City urban forestry department. Any hardscape designating public spaces shall be either masonry, scored and colored concrete, grasscrete or a combination of the aforementioned. Any landscaping within the property boundaries shall be a combination of native species of trees, shrubs, ground cover and/or flowers that are drought tolerant and will assure 80% coverage within 3 years of being planted.

The Ownership will be providing residents the opportunity for additional on-site storage of personal belongings. All storage units will be in the parking area and screened from view of all adjacent public rights-of-way.

The intent of the CB zone is defined as *"The CB community business district is intended to provide for the close integration of moderately sized commercial areas with adjacent residential neighborhoods. The design guidelines are intended to facilitate retail that is pedestrian in its*

orientation and scale, while also acknowledging the importance of transit and automobile access to the site.”

9th and 9th Property, LLC is of the opinion that its development not only meets the intent of the purpose of the CB zone, but will exceed the community’s expectations for urban design elements, pedestrian friendly building attributes, seamless integration with surrounding residential neighborhoods, and over-all mixed-use functionality integrated into the 9th and 9th district. We are excited to turn our development ideas into a transformative and exciting project.

ATTACHMENT E: EXISTING CONDITIONS

Existing Conditions:

The site is currently developed with a retail building and a surface parking lot. The adjacent uses include:

- North: Various commercial businesses (across 900 South). These properties are zoned CB (Community Business).
- East: Commercial business and surface parking lot (across Lincoln Avenue). This property is zoned CB (Community Business).
- South: Single-family residential property. This property is zoned R-1/5,000 (Single-Family Residential District).
- West: Single-family residential properties. These properties are zoned R-1/5,000 (Single-Family Residential District).

Central Community Master Plan Discussion

The subject property is located within the Central Community planning area. The subject property is designated on the future land use map as 'Community Commercial'. Regarding 'Community Commercial', the Central Community Master Plan states,

"The Community Commercial designation provides for the close integration of moderately sized commercial areas with adjacent residential neighborhoods."

The Central Community Master Plan (2005) contains specific policies to development within the Neighborhood Commercial designation, listed as follows:

- CLU-1.2 **Community Commercial:**** Locate community level retail sales and services on appropriate arterials and do not encroach upon residential neighborhoods or generate community-wide parking and traffic issues.
- CLU-4.6** Ensure that new development in areas where non-residential and residential land uses are mixed, preserves viable residential structures that contribute to the neighborhood fabric and character.
- CLU-5.1** Replace commercial buildings on commercially zoned property when structural rehabilitation is not feasible. Redevelopment opportunities should consider mixed land use when replacing commercial structures.

Community Business Zoning Standards (note that only standards applicable to this specific project have been included)

CB Zone Standards	Finding	Rationale
Lot Size Requirements: No minimum lot area or lot width is required, however any lot exceeding four acres in size shall be allowed only through the conditional building and site design review process.	Complies	The lot is approximately 22,300 square feet or .51 acres.
Maximum Building Size: Any building having a 15,000 gross square foot floor area of the first floor or a total floor area of 20,000 gross square feet or more, shall be allowed only through the conditional building and site design review process. An unfinished basement used only for storage or parking shall be allowed in addition to the total square footage	Complies	The applicant has applied for approval through the conditional building and site design process. In addition, no basement is proposed. The standards for Conditional Building and Site Design review are analyzed in Attachment F. That analysis indicates that the proposal complies.

<p>Minimum Yard Requirements:</p> <ol style="list-style-type: none"> 1. Front Or Corner Side Yard: No minimum yard is required. 2. Interior Side Yard: None required. 3. Rear Yard: Ten feet. 4. Buffer Yards: Any lot abutting a lot in a residential district shall conform to the buffer yard requirements of Chapter 21A.48 of this title. 5. Accessory Buildings And Structures In Yards: Accessory buildings and structures may be located in a required yard subject to Section 21A.36.020, Table 21A.36.020B of this title. 6. Maximum Setback: A maximum setback is required for at least 75% of the building facade. The maximum setback is 15 feet. 7. Parking Setback: Surface parking is prohibited in a front or corner side yard. Surface parking lots within an interior side yard shall maintain a 20 foot landscape setback from the front property line or be located behind the primary structure. 	<p>Complies</p>	<p>All applicable setbacks have been met for the project.</p>
<p>Landscape Yard Requirements: If a front or corner side yard is provided, such yard shall be maintained as a landscape yard. The landscape yard can take the form of a patio or plaza, subject to site plan review approval.</p>	<p>Complies</p>	<p>No front or corner side yard is provided.</p>
<p>Maximum Height: 30 feet</p>	<p>Complies</p>	<p>The building is 30 feet. The parapet and stairwell projections are permitted through the Zoning Ordinance.</p>
<p>Entrance And Visual Access:</p> <ol style="list-style-type: none"> 1. Minimum First Floor Glass: The first floor elevation facing a street of all new buildings or buildings in which the property owner is modifying the size of windows on the front facade, shall not have less than 40% glass surfaces. All first floor glass shall be nonreflective. Display windows that are three-dimensional and are at least two feet deep are permitted and may be counted toward the 40% glass requirement. 2. Facades: Provide at least one operable building entrance per elevation that faces a public street. Buildings that face multiple streets are only required to have one door on any street, if the facades for all streets meet the forty percent 40% glass requirement. 3. Maximum Length: The maximum length of any blank wall uninterrupted by windows, doors, art or architectural detailing at the first floor level shall be 15 feet. 4. Screening: All building equipment and service areas, including on grade and roof mechanical equipment and transformers that are readily visible from the public right of way, shall be screened from public view. These elements shall be sited to minimize their visibility and impact, or enclosed as to appear to be an integral part of the architectural design of the building. 	<p>Complies</p>	<p>All items have been addressed as part of the design of the project.</p>
<p>Parking Lot/Structure Lighting: If a parking lot/structure is adjacent to a residential zoning district or land use, the poles for the parking lot/structure security lighting are limited to 16 feet in height and the globe must be shielded to minimize light encroachment onto adjacent residential properties. Lightproof fencing is required adjacent to residential properties.</p>	<p>Complies</p>	<p>All proposed lighting is less than 16 feet in height and a lightproof fence is provided for the southern property line.</p>

ATTACHMENT F: ANALYSIS OF STANDARDS

21A.59.060: Standards for Design Review: In addition to standards provided in other sections of this title for specific types of approval, the following standards shall be applied to all applications for design review:

Standard	Finding	Rationale
A. Development shall be primarily oriented to the street, not an interior courtyard or parking lot.	Complies	The building design is primarily oriented to both 900 South and Lincoln Street.
B. Primary access shall be oriented to the pedestrian and mass transit.	Complies	The main entrance of the building and the retail component is oriented towards 900 South. This makes the building oriented towards the pedestrian and allows for easy walking access to transit in the area. The access for the residential portion of the project is through an entrance off Lincoln Street.
C. Building facades shall include detailing and glass in sufficient quantities to facilitate pedestrian interest and interaction.	Complies	The building is predominantly glass and the ground level glass along 900 South is clear, looking into the retail area, which facilitates pedestrian interest and interaction. There are some additional glass facades along Lincoln Street towards the corner of the property, which also looks in the retail area. On the second and third stories, all of the residential units have glass and balconies to provide further interest of the building.
D. Architectural detailing shall be included on the ground floor to emphasize the pedestrian level of the building.	Complies	The ground level has design elements to emphasize the pedestrian. These elements differentiate the ground floor level from the upper two floors from the rest of the building for improved pedestrian interaction and access.
E. Parking lots shall be appropriately screened and landscaped to minimize their impact on adjacent neighborhoods. Parking lot lighting shall be shielded to eliminate excessive glare or light into adjacent neighborhoods.	Complies	Parking for the project will be provided on the ground floor level behind the retail space and below the second level of the building. The applicant has provided additional measures such as lightproof fencing where the parking is adjacent to residential areas to help shield glare or light into the neighborhood.
F. Parking and on site circulation shall be provided with an emphasis on making safe pedestrian connections to the street or other pedestrian facilities.	Complies	The parking and circulation provided puts the parking away from the pedestrians and by having only one vehicular access to the parking, the interaction with pedestrians and vehicles is minimized. Sidewalks are provided along each street to allow for safe movement of pedestrians in the area.
G. Dumpsters and loading docks shall be appropriately screened or located within the structure.	Complies	The proposed dumpster is located in the parking area and adjacent to the public alley. The dumpster will be screened from Lincoln Street by the parking area.
H. Signage shall emphasize the pedestrian/mass transit orientation.	Complies	No specific details regarding signs have been submitted at this time. All signs will need to comply with all Zoning Ordinance requirements.
I. Lighting shall meet the lighting levels and design requirements set forth in Chapter 4 of the Salt Lake City lighting master plan dated May 2006.	Complies	Application information indicates compliance with city's lighting standards, with cut-off lighting features.

<p>J. Streetscape improvements shall be provided as follows:</p> <ol style="list-style-type: none"> 1. One street tree chosen from the street tree list consistent with the city's urban forestry guidelines and with the approval of the city's urban forester shall be placed for each 30 feet of property frontage on a street. Existing street trees removed as the result of a development project shall be replaced by the developer with trees approved by the city's urban forester. 2. Landscaping material shall be selected that will assure 80% ground coverage occurs within three years. 3. Hardscape (paving material) shall be utilized to designate public spaces. Permitted materials include unit masonry, scored and colored concrete, grasscrete, or combinations of the above. 4. Outdoor storage areas shall be screened from view from adjacent public rights of way. Loading facilities shall be screened and buffered when adjacent to residentially zoned land and any public street. 5. Landscaping design shall include a variety of deciduous and/or evergreen trees, and shrubs and flowering plant species well adapted to the local climate. 	<p>Complies</p>	<p>Application indicates streetscape and landscape improvements will be installed to comply with these standards.</p>
<p>K. The following additional standards shall apply to any large scale developments with a gross floor area exceeding sixty thousand (60,000) square feet:</p>	<p>Not applicable, development is less than 60,000 square feet.</p>	<p>Not applicable, development is less than 60,000 square feet.</p>
<p>L. Any new development shall comply with the intent of the purpose statement of the zoning district and specific design regulations found within the zoning district in which the project is located as well as adopted master plan policies, the city's adopted "urban design element" and design guidelines governing the specific area of the proposed development. Where there is a conflict between the standards found in this section and other adopted plans and regulations, the more restrictive regulations shall control.</p>	<p>Complies</p>	<p>The building is oriented to both 900 South and Lincoln Street with an urban format with no additional setbacks. The intent of the CB zoning designation is to provide retail that is pedestrian oriented in size and scale while noting the importance of transit and auto access to the site.</p> <p>The Central Community Master Plan encourages mixed use development when the residential character of the area is maintained. This project is small scale and is compatible with the neighborhood.</p> <p>The urban design element encourages the height of neighborhood retail, residential and industrial use to the height and scale of the respective neighborhood and generally be limited to three stories in height. This particular proposal does satisfy the policy found in the Urban Design Element.</p>

ATTACHMENT G: PUBLIC PROCESS AND COMMENTS

Public Notice, Meetings and Comments

The following is a list of public meetings that have been held, and other public input opportunities, related to the proposed project.

Notice of Application:

A notice of application was mailed to all abutting property owners. The notice sought a reply from anyone who wanted a public hearing with the Planning Commission regarding this petition. Staff initially received three separate requesting for a public hearing. There were also three additional people who called regarding the application. Some were seeking more information and some had concerns with the project. This type of application is not required to be reviewed by Recognized Organizations. However, Recognized Organizations do receive email notification of all Planning Commission agendas.

Notice of the public hearing for the proposal include:

- Public hearing notice mailed January 29.
- Public hearing notice posted at the site on January 29.
- Public notice posted on City and State websites and Planning Division list serve on January 29.

Email:

One email was received in support of the project and is included on the following page. Any other correspondence received after the publication of this staff report will be forwarded to the Planning Commission.

From: [Randall Harmsen](#)
To: [Pickering, Maryann](#)
Subject: PLNPLM2014-00890
Date: Saturday, January 31, 2015 2:26:51 PM

I am the owner of 9th South Delicatessen and our restaurant is directly across the street from the 9+9 mixed use at 932 E. 900 S. I want to fully endorse this project. The owners met with us and we are 100% supportive. Please so indicate for the planning commissioners.

Randy Harmsen

ATTACHMENT H: DEPARTMENT COMMENTS



Work Flow History Report

932 E 900 S

PLNPCM2014-00890

Date	Task/Inspection	Status/Result	Action By	Comments
12/23/2014	Engineering Review	Complete	Weiler, Scott	No objections. A Site Plan, Grading Plan and Utility Plan will need to be reviewed and approved by SLC Engineering, prior to obtaining a building permit. Prior to performing any work in the public way, a Permit to Work in the Public Way must be obtained from SLC Engineering.
12/23/2014	Staff Assignment	In Progress	Pickering, Maryann	Received all items necessary to route the project.
12/26/2014	Zoning Review	Complete	Hardman, Alan	This proposal went to a DRT meeting held on November 21, 2014 (DRT2014-00350). See zoning review comments. Two parcels must be combined through a lot consolidation application or a subdivision application process. Submit appropriate application and receive approval.
1/7/2015	Transportation Review	Complete	Pickering, Maryann	Re; PLNPCM2014-00890 Mix Use Proposal. Transportation review comments are as follows: The Site Evaluations sheet has minor errors in reference to city Code. 21A.44.030.8 should be 21A.44.030.8 and reference 21A.44.030 5.7 should be 21A.44.030 G.7. The parking calculation's note standard parking requirement requiring 53 Stalls for a maximum allowed stalls of 66.25 stalls. The provision for exemption shows 14 stalls required. And the calculations notes 25 stalls provided. The site plan shows 25 stalls provided on Site with three on street angle stalls existing and an additional 6 on street stall to be provided. Along with the Pedestrian friendly Development exemptions.
1/13/2015	Building Review	Complete	Pickering, Maryann	No comments received.
1/13/2015	Fire Code Review	Complete	Pickering, Maryann	No comments received.
1/13/2015	Police Review	Complete	Pickering, Maryann	No comments received.
1/13/2015	Public Utility Review	Complete	Pickering, Maryann	No comments received.
1/13/2015	Sustainability Review	Complete	Pickering, Maryann	No comments received.



Work Flow History Report

932 E 900 S

DRT2014-00350

Project: 9+9 Mixed Use

Project Description: 3:30PM, New mixed use building with 5k s/f of retail and 28 residential units.

The Development Review Team (DRT) is designed to provide PRELIMINARY review to assist in the design of the complete site plan. A complete review of the site plan will take place upon submittal of the completed site plan to the Permits Counter.

Date		Task/Inspection	Status/Result	Action By	Comments
11/20/2014	0	Application Acceptance	Accepted	Robinson, DeeDee	
11/20/2014	0	Engineering Review	Comments	Ott, George	Site Plan Review – Required. Engineering will review the site plans as submitted for the Building Permit Application. A Public Way Permit maybe required for project completion. A Licensed, bonded and insured Contractor to obtain permit to install or repair required street improvements. Special conditions maybe required to cut through the intersection at 9th and 9th. Contact Scott Weiler for restoration requirements. 801-535-6159
11/20/2014	0	Fire Review	Comments	Itchon, Edward	Fire hydrants shall be within 400 feet of all exterior walls of the first floor and within 100 feet of a fire department connection (FDC). The FDC shall be installed on the address side. Fire flow estimated 1,750 GPM @ building construction type V-A. If the roof deck is being used and the requirements of IFC Section 316.4, 317, 905 (additional 750 GPM) and Appendix D shall be required.
11/20/2014	0	Public Utilities Review	Comments	Stoker, Justin	There are a number of existing water and sewer utility services across the entire project area. All water and sewer services that are not going to be used in the future will need to be terminated prior to demolition of the existing site. Water services are terminated at the main and sewer services are capped at the property line. With the need to connect fire suppression sprinkler lines, there appears to be a need to upsize the public water main to be able to get the pressure, volumes, and velocities into compliance with current codes and safety limits. For this, the street that the sprinkler line connects to would need to be upsized to a minimum of 12-inch line across the frontage of the property to the nearest cross or tee or until standards are met. Connection to the sewer is okay for the future building. With the project under an acre, no special requirements are required. Pretreatment will be required for parking areas. Coordinate with Dave Pearson at Public Utilities regarding street lights.

11/20/2014	0	Transportation Review	Comments	Walsh, Barry	Proposal for demo of existing building and develop at grade parking with retail frontage and two levels of residential above part of the parking lot, structure mix.. Need to investigate proposed roadway widening along Lincoln Street and removal of existing driveway conversion to added angle parking to match street scape. Coordinate with Planning and city Forester for minimum landscape park strip Provide parking calculations per section 21A.44.
11/20/2014	0	Zoning Review	Comments	Brown, Ken	CB Zone - New retail & residential mixed use that involves combining of two parcels. Combining of the properties will need to be processed through a subdivision application. Conditional building and site design review required for this proposal. Demolition permits will be required for all existing buildings. Certified address is to be obtained from the Engineering Dept. for use in the plan review and permit issuance process. Construction waste management provisions of 21A.36.250 apply to this proposal and a construction waste management plan is to be submitted to constructionrecycling@slcgov.com for review. Construction waste management plan approval is to be submitted with the building permit application. Questions regarding the Waste Management Reports may be directed to 801-535-6984. Recycling collection station provisions of 21A.36.250 apply to this proposal. Landscaping plans are to be developed for this project in conformance with 21A.48 in regards to water efficient landscaping, hydro zones, park strip landscaping, landscape buffers, landscape yards, screening of refuse disposal dumpsters, tree protection, etc. Any public way encroachments would need to be discussed with the SLC Real Estate Services Division. Discussed the possibility of having a rooftop deck. All elements of the deck (including guardrails) would need to be below the maximum height allowance except that the Planning Commission may approve, as a special exception, additional height not exceeding 10%.
11/21/2014	1	Closure	Emailed Notes to Applicant	Robinson, DeeDee	

ATTACHMENT I: MOTIONS

Staff Recommendation:

Based on the testimony, plans presented and the following findings, I move that the Planning Commission approve the requested 9+9 Mixed Use Conditional Building and Site Design Review PLNPCM2014-00890 to allow a development with a first floor square footage in excess of 15,000 square feet and an overall maximum square footage of 20,000 square feet.

Not Consistent with Staff Recommendation:

Based on the findings listed in the staff report and the testimony and plans presented, I move that the Planning Commission deny the requested 9+9 Mixed Use Conditional Building and Site Design Review PLNPCM2014-00890 to allow a development with a first floor square footage in excess of 15,000 square feet and an overall maximum square footage of 20,000 square feet.

The Planning Commission shall make findings on the conditional building and site design review standards and specifically state which standard or standards are not being complied with.